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402 Macquarie Street Liverpool

Accessibility Assessment Report Report 2024/0150 R1.1

Prepared for The Grand Liverpool Pty Ltd
July 2024



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Revision History

Revision No:	Date:	Revision Details:	Author:	Verifier:
R1.0	Wednesday, 17 July 2024	Draft Report – DA Stage	Josh Harvey	Jarryd Beckman  Access Institute Qualified Access Consultant
R1.1	Friday, 19 July 2024	Final Report – DA Stage	Josh Harvey	Jarryd Beckman  Access Institute Qualified Access Consultant

Disclaimer:

This report is based on a desktop audit of the Architectural documentation only. Details contained within this report address issues of significance in relation to Accessibility compliance relevant to this stage of design resolution.

It represents a compliance report for “documentation to this point in time” and will be subject to amendment and expansion as the project documentation develops.



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1. Executive Summary

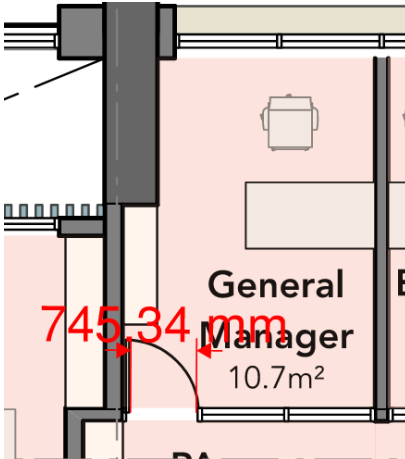
The architectural design drawings for the proposed development at 402 Macquarie Street Liverpool have been assessed against the relevant Deemed-to-Satisfy Provisions (DtS) relating to Access for persons with a Disability.

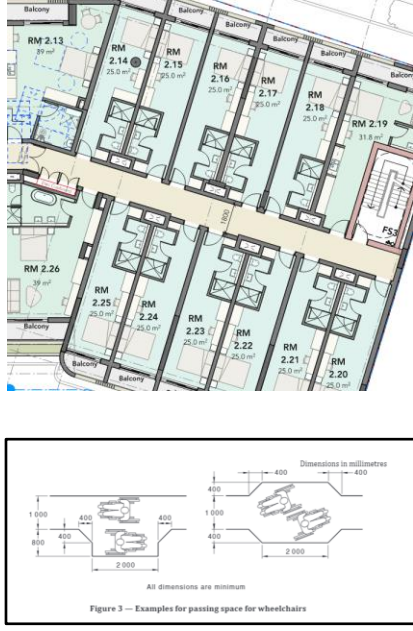
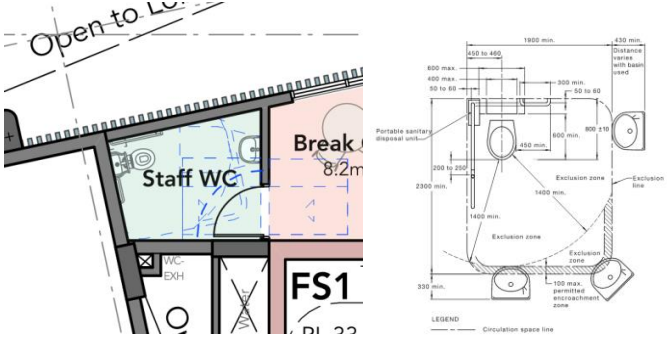
This report identifies non-compliances which will require further design development or a Performance Solution to satisfy the relevant Performance Requirement of the BCA. The following table summarises the main compliance issues and the necessary Performance Solutions for the project.

2. Issues Requiring Resolution

2.1. Issues requiring amendments to plans, additional details or documentation.

The following issues either need to be resolved or require further details and/or documentation to be provided to ensure compliance before issuing the Construction Certificate.

Item	DTS Clause	Description	Requirement to Satisfy BCA
1.	D4D4	Parts of the building to be accessible & AS1428.1-2009	<p><u>Circulation space at doorways</u></p> <p>Compliant circulation space has not been provided at various doorways throughout the development.</p> <p>Circulation space has not been provided at the general manager's office in accordance with AS1428.1-2009. Please update architectural drawings to demonstrate compliance. A minimum 850mm clear opening and latch and hinge side clearances.</p> 
2.	D4D4	Parts of the building to be accessible & AS1428.1-2009	<p>Public corridors in the hotel would not be considered a clear line of sight.</p> <p>Where a clear line of sight is not provided within 20m a passing space shall be provided.</p> <p>Accessways must have a passing space complying with AS 1428.1 at maximum 20 m intervals on those parts of an accessway where a direct line of sight is not available. The passing space shall be a minimum width of 1800mm for a length of 2000mm.</p> <p>Please update the architectural drawings to demonstrate compliance.</p>

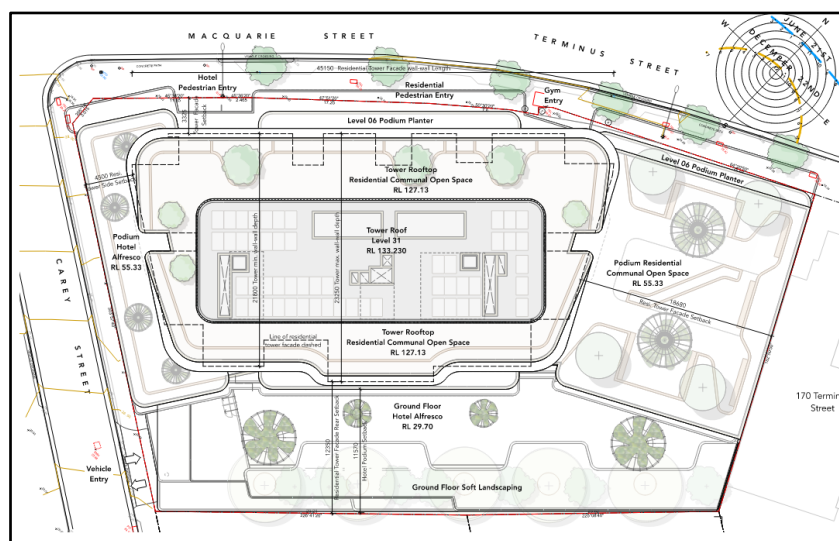
Item	DTS Clause	Description	Requirement to Satisfy BCA
			 <p>Figure 3 — Examples for passing space for wheelchairs</p> <p>Passing space for wheelchairs</p>
3.	D4D6	Accessible carparking	<p>The gym has been provided with a single car space, technically this space is required to be an accessible carparking space.</p> <p>The architectural drawings shall be updated to provide a single accessible carparking space.</p>
4.	F4D5	Accessible sanitary facilities & AS1428.1-2009	<p>The accessible sanitary compartment on Level 1 does not satisfy the spatial requirements for AS1428.1-2009. Please update the architectural drawings to demonstrate compliance.</p> <p>Sanitary facility dimension shall be a minimum of 2300mm x 1900mm as per AS1428.1-20090</p> 

3. Introduction

This report presents the findings of an accessibility assessment undertaken of the architectural design drawings for the development at 402 Macquarie Street Liverpool which comprises of a mixed-use build-to-rent housing/retail development. The proposed development includes;

- Construction of a thirty-one (31) storey building
- Ground floor level will comprise the hotel lobby, bar, conference, lounge and dining areas, residential lobby and indoor recreation facility (gym).
- Level one will comprise the hotel administration area and the second level of the gym.
- Level 2 to 7 will comprise 198 hotel rooms.
- Level 8 will comprise of a hotel bar and lounge, hotel rooftop alfresco, internal residential communal facilities, residential communal open space, and rooms for building services.
- Level 9 to 29 will comprise a mix of residential units and includes 168 apartments in the following configuration:
 - 84 x 1-bedroom units;
 - 63 x 2-bedroom units; and
 - 21 x 3-bedroom units.
- Provision of a six-level basement car park comprising 207 car spaces, 1 loading dock, 1 loading bay, 10 motorcycle spaces, 115 bicycle spaces and 2 wash bays.
- Provision of residential communal open space on Level 8 and 30 comprising 959.7m².
- Key support infrastructure including electrical, stormwater, hard and soft landscaping and additional parking facilities for visitors. The site is legally defined as Lot 1 DP788579 and located within the LGA of North Sydney Council.

Pedestrian access is provided to the building via Mcquarie Street whilst vehicular access to the site is provided via Carey Street.



Site plan courtesy of Olsson Architects

The assessment contained herein has been prepared by Steve Watson and Partners for The Grand Liverpool Pty Ltd



4. Purpose

The purpose of this report is to provide an assessment of the design documentation against the relevant documents and Deemed-to-Satisfy Provisions listed below:

- Disability (Access to Premises - Buildings) Standards 2010
- Building Code of Australia 2022 (BCA2022) - Part D4, G7 and Clauses E3D8, F4D5, F4D6, F4D7 and F4D12.
- Australian Standards Applicable to the Development - AS 2890.6-2009, AS 1428.1-2009 and AS 1428.4:2009
- State Environmental Planning Policy (Housing) 2021
- Liverpool Council DCP 2008
- Adaptable Housing Code AS 4299:1995 - In line with Councils DCP requirements

5. Scope and Limitations

5.1. Scope and Limitations

The scope of this report is limited to the design documentation referenced in Appendix A. The report carries out an accessibility assessment against the documents prescribed in Section 2. It does not encompass a comprehensive assessment of the BCA2022 provisions.

This report herein does not imply compliance with the following:

- The structural design or adequacy of the building
- The services design for the building
- The Disability Discrimination Act (compliance with the BCA2022 and the Premises Standard can mitigate the risk of a complaint being made under the Disability Discrimination Act. However, it cannot be guaranteed that no such complaint will be filed. Nonetheless, if the building satisfies the aforementioned standards, the parties accountable for the building would be less susceptible to a successful complaint).
- Other legislative requirements or specific requirements stipulated under other areas such as Safety in Design, Construction Safety, Planning and Environment, Occupational Health and Safety, Health, Dangerous Goods, etc, which may impact on the design and use of the building. It is recommended that appropriate advice from suitably qualified consultants should be obtained for further information on these areas.
- The Access report and associated compliance advice is not intended or permitted to be relied on by any other party with respect to their obligations to ensure compliance, including but not limited to the making of a compliance declaration under the NSW Design and Building Professionals Act.

5.2. Federal Disability Discrimination (DDA)

The term 'disability' encompasses a range of conditions, such as physical, intellectual, psychiatric, neurological, cognitive, sensory, learning difficulties, physical disfigurement, and the presence of disease-causing organisms in the body.

All organizations are obligated, under the Disability Discrimination Act (DDA), to provide fair and respectful access to services, goods, and public premises. The term 'premises' has a broad definition and includes all areas within the subject development.

The DDA is enforceable nationwide and relies on complaints. While the Disability (Access to Premises -



Buildings) Standards 2010 and the BCA2022 are considered design standards that fulfil some of the DDA's requirements, adhering to these standards does not ensure that a complaint will not be filed.

5.3. Disability (Access to Premises Standards - Buildings) Standard 2010

The Disability (Access to Premises - Buildings) Standards 2010 came into force via BCA2011 throughout Australia on 01 May 2011, and with it introduced a higher standard of access to that required by previous versions of the BCA. In prescribed circumstances, the legislation requires upgrade of access and facilities for persons with disabilities when building work is proposed. In particular, unless works are undertaken by a lessee who does not lease the entire building, proposed building work anywhere in the building could trigger a need for enhanced access at the main building pedestrian entry and from that entry to all areas of the building that are subject to the building work.

The Premises Standards are generally consistent with the BCA2022 and refer to various Australian Standards related to access and other related matters. However, they are not applicable to existing buildings that are not undergoing upgrades.

6. National Construction Code Accessibility Assessment- Volume 1: Building Code of Australia Class 2 to Class 9 Buildings

The National Construction Code (NCC) is a uniform set of technical provisions for the design and construction of buildings, structures and plumbing/drainage systems which is separated into 3 volumes. Volume 1 of the NCC is the Building Code of Australia (BCA) for Class 2 to 9 buildings which is the document to which the assessment in this report has been undertaken against. The BCA is legislated under The Act and specifies the Performance Requirements for the design and construction of Class 2 to 9 buildings that must be satisfied to achieve compliance. The Performance Requirements can only be satisfied by a Performance Solution, Deemed-to-Satisfy (DTS) solution or a combination of both.

7. Performance Solutions

The BCA is written in a performance format which allows Performance based buildings. This has allowed for innovation and variation from the prescriptive Deemed-to-Satisfy (DtS) Requirements of the BCA, whilst maintaining the principle levels of health, safety and amenity of building occupants.

Performance solutions are generally adopted when a nominated DtS provisions appear inappropriate for the design, or when a proposed design varies from the prescriptive requirements of the BCA. Subsequently, a Performance Solution supported can determine whether a proposed design that varies from prescriptive requirements, will satisfactorily meet the performance provisions of the BCA. Ultimately, it is with the discretion of the relevant building surveyor whether to accept a deviation from the prescriptive code requirements.

Utilising the performance provisions may result in more economical and somewhat safer building, however Performance Solutions may require additional on-going maintenance. It is in this instance that all parties, such as the building owner, insurance companies, proposed tenants, etc., are aware of this decision making process and are kept informed of any additional requirements needed to maintain the level of safety.



8. Compliance Considerations for the Development

8.1. Dimensions and Tolerances

The Premises Standards and BCA set the minimum standards for building construction and safety. Consequently, they establish minimum dimensions that must be met. Steve Watson and Partners have conducted an assessment of the plans and specifications to ensure that the minimum dimensions have been met.

Onsite, it is the responsibility of the designer and builder to ensure that the minimum dimensions are met. Construction tolerances should be taken into account for wall set outs, applied finishes and skirtings to corridors and bathrooms, tiling bed thicknesses, and other similar factors that could have an adverse impact on critical issues, such as access for people with disabilities, stair and corridor widths, and balustrade heights.

8.2. Building Classification (Part A6)

In line with Part A6 of the BCA2022 and Part A4 of the Premises Standard, the building has been classified as:

Building Use: Carpark, residential, hotel, office, retail, storage, assembly building
Classifications contains Class 2,3,5,6,7a,7b & 9b

8.3. Councils Development Control Plan

Liverpool Council DCP 2008 contains the following planning controls which relate to accessibility. The table below provides a summary against the relevant accessibility controls of the DCP.

Clause	Prescriptive requirements	Comment	Compliance
4.2.10	A minimum of 10% of all dwellings (or at least one dwelling – whichever is greater) to be capable of adaptation for disabled or elderly residents	17 units (10%) designed to meet Class C in accordance with AS 4299.	Complies
4.2.10	Adaptable dwellings must be designed in accordance with the Australian Adaptable Housing Standard (AS 4299-1995).	Compliance is readily achievable subject	Compliance Readily Achievable
4.2.10	Provide certification from an Accredited Access Consultant confirming that the adaptable dwellings are capable of being modified, when required by the occupant, to comply with the Australian Adaptable Housing Standard (AS 4299-1995)	This report forms the basis that the building is capable of complying with the requirements of AS4299-1995.	Complies
4.2.10	Ensure car parking and garages allocated to adaptable dwellings comply with the requirements of the relevant Australian Standard for disabled parking spaces.	Compliant accessible carparking in accordance with AS2890.6 has been provided throughout the carparking spaces assigned to the residential part of the building.	Complies



8.4. Adaptable Housing Code Assessment (AS 4299)

As per Section 4.2.10 of Liverpool Council DCP 2008, the Development will be required to have a minimum 17 units (10%) designed to meet Class C in accordance with AS 4299. The architectural drawings contain pre and post adaption plans for the proposed adaptable units which have been assessed in 8.4 of this report.

The provision of seven (7) adaptable apartments and ten (10) specialist disability accommodation (SDA) apartments have been provided which satisfies the requirement for adaptable housing.

8.5. Livable Housing Design Guidelines (LHDG)

The SEPP (Housing) 2021 Apartment Design Code requires that at least 20% of the total apartments in a residential development (when there are 3 or more storeys as well as more than 4 units) must include the silver level universal design features of the Livable Housing Guidelines. Part 8.4 this report will assess whether the development complies with the relevant requirements of the LHDG.

Note: BCA2022 - Part G7 requires 100% of units within a Class 2 development to comply with the relevant Livable housing design requirements, however this part of the BCA has been removed in NSW.

A total of one hundred and sixty-eight (168) sole occupancy are proposed, thirty four (34) (20.24%) of them are Livable Housing.



9. Assessment Data Summary

The following basic assessment data has been drawn from the provisions of the Accessibility Assessment.

10. Conclusion / Statement of Compliance

The design as assessed within this Report, either complies or is capable of complying with the requirements referenced in Part 2 of this report, subject to the resolution of the identified areas of non-compliances and/or Performance Solutions provided within the report. Furthermore, where items have been listed as “compliance readily achievable”, then a suitable specification shall be provided at the CC stage to ensure these areas are complied with during Construction.

Moreover, it is considered that detailed regulatory reviews will need to be progressively undertaken as the designs advance and become more resolved to ensure compliance is achieved.

11. Accessibility Assessment

11.1. Process adopted

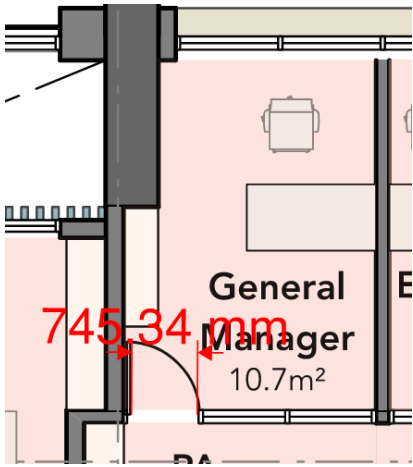
The following method of assessment has been used in the preparation of this report:

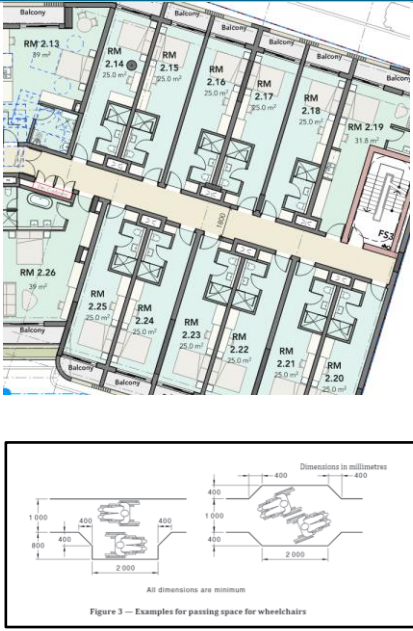
- 2) Determine the basic assessment data for the building.
- 3) Assess the design of the building against the current Deemed-to-Satisfy requirements of Part D4, G6 and Clauses E3D8, F4D5, F4D6, F4D7 and F4D12 of the BCA. Establish the status of each clause into the following categories:
 1. Clause is administrative information only (**Noted**);
 2. Clause is or is not relevant to the proposed work (**Applicable or N/A**)
 3. The proposed work complies with the requirements of the clause (**Complies**);
 4. Compliance with the requirements of the clause is unable to be determined from the documentation provided (**Compliance Readily Achievable**). A recommendation in the “Comments” column will indicate what is required to achieve compliance. The design and construction teams are responsible to ensure compliance is achieved;
 5. Compliance with the requirements of the clause is unable to be determined from the documentation provided. Additional details or relevant information required to verify compliance (**Additional Details Required**);
 6. Proposed work does not comply with the requirements of the clause (**Does Not Comply**). An indication will be given in the Comments field as to the nature of the issue and whether an alternative solution has been proposed to address the issue;
 7. Proposed work is to be addressed on a performance basis via an Alternative Solution satisfying the relevant Performance Requirements. (**Performance Solution**);
- 4) Nominate the status of the design against each BCA requirement;
- 5) Provide comments against each BCA requirement as appropriate.

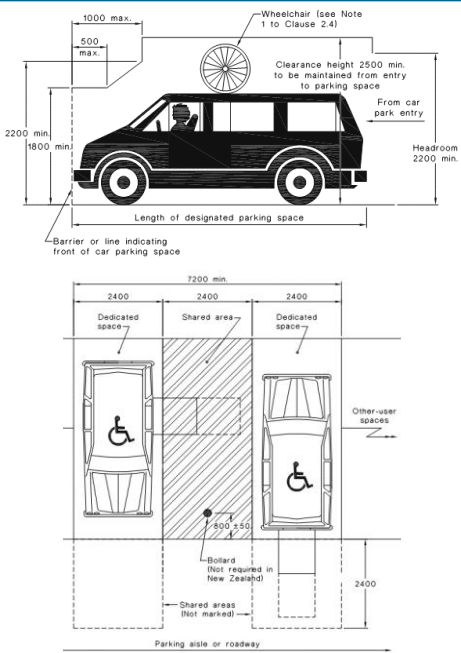

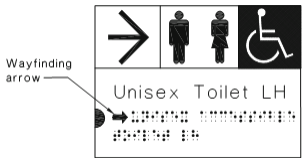
11.2. BCA2022 Accessibility Assessment Table



Clause	Description	Comment	Status
BCA Version			
Accessibility Assessment	<p>BCA version</p> <p>The BCA is generally updated every 3 years with amendments influencing health, safety and amenity features required within the building. Legislation typically allows future BCA changes to be ignored provided substantial progress on the design of the development has previously occurred.</p>	This report assumes that the applicable BCA version is BCA 2022. In addition, requirements of the Premises Standards (PS) are covered as relevant.	Noted
Part D4 - Access for People with a Disability			
D4D2	<p>General building access requirements (including Tables D4D2a and D4D2b)</p> <p>Buildings and parts of the buildings must be accessible as required by this clause, unless exempted by D4D5. Access requirements are required as per the following</p> <p>Class 2 -</p> <p>For a Class 2 building, common areas are to be accessible;</p> <p>From a pedestrian entrance to at least 1 floor containing SOU's, to the entrance doorway of each SOU located on that level, and any other level served by a passenger lift or an accessible ramp.</p> <p>To and within not less than 1 of each type of room or space for use in common by the residents (e.g. cooking facility, gymnasium, swimming pool, laundry, etc.)</p> <p>Class 3 -</p> <p>For a Class 3 building, from a pedestrian entrance to at least 1 floor containing SOU's, to the entrance doorway of each SOU located on that level, and any other level served by a passenger lift or an accessible ramp.</p> <p>To and within not less than 1 of each type of room or space for use in common by the residents (e.g. cooking facility, gymnasium, swimming pool, laundry, etc.)</p> <p>Class 5 -</p> <p>To and within all areas normally used by the occupants.</p> <p>Class 6 -</p> <p>To and within all areas normally used by the occupants.</p> <p>Class 7 -</p> <p>To and within any level containing accessible carparking spaces.</p> <p>Class 9b -</p> <p>To and within all areas normally used by the occupants.</p> <p>To wheelchair seating spaces provided in accordance with D4D10 (prev. D3.9).</p>	<p>Access is provided throughout the accessible parts of the building.</p> <p>The primary accessway into the building, is provided by from the Mcquarie Street to the main entry via 1:14 ramp.</p> <p>The hotel, residential building and the gym each have their own independent accessible entry.</p> <p>Lifts are provided within the hotel and residential lobby which provide access throughout the building.</p> <p>The hotel contains 198 number of SOU's therefore, 9 sole-occupancy units are required to be accessible.</p> <p>Currently 14 SOUS are nominated as accessible, demonstrating compliance with the requirements of this clause.</p>	Complies

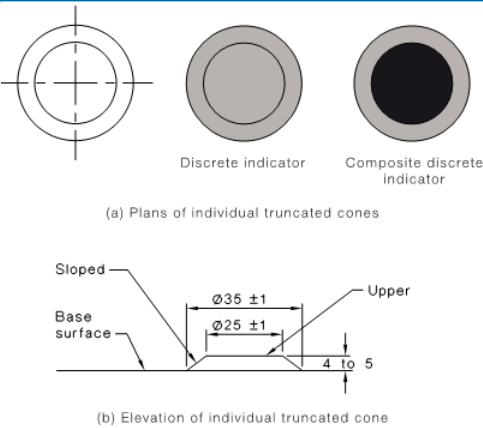
Clause	Description	Comment	Status
	<p>To and within all other areas normally used by the occupants, except that access need not be provided to tiers or platforms of seating areas that do not contain wheelchair seating spaces.</p> <p>Class 10b -</p> <p>To and into swimming pools with a total perimeter greater than 40m, associated with a Class 1b, 2, 3, 5, 6, 7, 8 or 9 building that is required to be accessible, but not swimming pools for the exclusive use of occupants of a Class 1b building or a sole-occupancy unit in a Class 2 or Class 3 building.</p>		
D4D3	<p>Access to buildings</p> <p>An accessway must be provided to a building required to be accessible -</p> <ul style="list-style-type: none"> • From main pedestrian entry points at the allotment boundary; • Through the principal pedestrian entrance; • Through at least 50% of all pedestrian entries; • From accessible car parking spaces; • For buildings over 500m², so that an accessible entry occurs within 50m of any non-accessible entry; • From any another accessible building on the site. 	<p>The access from the front boundary to the buildings entrance is provided via a 1:14 walkway.</p> <p>Access is provided to and from all accessible carparking spaces to the lift lobbies within the building.</p>	Complies
D4D4	<p>Parts of the building to be accessible</p> <p>In a building required to be accessible -</p> <p>All parts of the building must be accessible to people with a disability except for areas where access would be inappropriate due to the particular use or areas that would pose a health or safety risk to people with a disability.</p> <p>Every ramp, except a fire isolated ramp, must comply with Clause 10 if AS 1428.1.</p> <p>Every stairway, except a fire isolated stairway, must comply with Clause 11 of AS 1428.1.</p> <p>A fire isolated stairway must comply with Clause 11(f) and (g) of AS 1428.1.</p> <p>Every passenger lift must comply with Clause E3.6.</p> <p>Accessways must have passing spaces and turning spaces complying with AS 1428.1.</p> <p>A ramp or passenger lift need not be provided to serve a storey or level other than the entrance storey of a class 5, 6, 7b or 8 building containing not more than 3 storeys and with a floor area of each storey, excluding the entrance floor, of not more than 200m².</p> <p>Pile height or pile thickness of carpets shall comply with the requirements of this Clause and AS 1428.1.</p>	<p><u>Walkways and ramps</u></p> <p>The building has multiple walkways and ramps located along the required accessways. Details have been provided on the architectural plans which confirm that the subsequent walkways and ramps are capable of achieving compliance with AS 1428.1-2009.</p> <p><u>Non-fire-isolated stairs</u></p> <p>The building has multiple non-fire-isolated stairways which serve accessible areas. Stairway details have been provided which confirm that double handrails, extensions, nosing strips and tactiles will be provided as per AS 1428.1-2009.</p> <p><u>Fire-isolated stairways</u></p> <p>The building is served by multiple fire-isolated stairways. Stairway details have been provided which show a consistent handrail height provided throughout the inner portion of the stairway.</p>	Additional Details Required

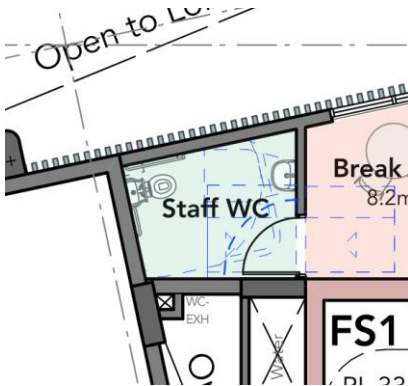
Clause	Description	Comment	Status
		<p><u>Circulation space at doorways</u></p> <p>Compliant circulation space has not been provided at various doorways throughout the development.</p> <p>Circulation space has not been provided at the general manager's office in accordance with AS1428.1-2009. Please update architectural drawings to demonstrate compliance. A minimum 850mm clear opening and latch and hinge side clearances.</p>  <p><u>Turning spaces</u></p> <p>Turning spaces with a clear space of 1540mm x 2070mm has been provided within 2 metres of the corridor ends to allow wheelchair occupants to make a 180-degree turn.</p> <p>Turning spaces have been provided at the end of corridors in accordance with BCA Clause D4D4 & AS1428.1-2009.</p>	Compliance Readily Achievable
		<p>Public corridors in the hotel would not be considered a clear line of sight.</p> <p>Where a clear line of sight is not provided within 20m a passing space shall be provided.</p> <p>Accessways must have a passing space complying with AS 1428.1 at maximum 20 m intervals on those parts of an accessway where a direct line of sight is not available. The passing space shall be a minimum width of 1800mm for a length of 2000mm.</p> <p>Please update the architectural drawings to demonstrate compliance.</p>	Additional Details Required

Clause	Description	Comment	Status
		 <p>Passing space for wheelchairs</p>	
D4D5	<p>Exemptions</p> <p>Certain areas may not need to be accessible if the area is deemed inappropriate because of the particular use or the area would pose a health or safety risk for people with disabilities.</p>	<p>The following areas within this development have been identified as potential exempted areas, subject to the certifier's approval:</p> <ul style="list-style-type: none"> • Cold store/dry store • Commercial kitchen • Loading dock • Waste and recycling areas • Gas meter room • Pump room • Hotel storage room • Plant room • Fire control room • Pool heating plant • Main switch room • Electrical substation • Fire pump room 	Noted
D4D6	<p>Accessible carparking</p> <p>The accessible parking spaces must comply with AS/NZS 2890.6 - 2009 and be provided in accordance with clauses D4D6(2).</p> <p>General requirements are:</p> <ul style="list-style-type: none"> • 2.4m x 5.4m plus an adjacent shared zone of 2.4m x 5.4m. • 2.2m head clearance for access and egress routes to and from accessible car spaces. • 2.5m head clearances over accessible car spaces. • Flat even surfaces. • Designated and sign posted for disabled users. 	<p>Compliance accessible carparking has been denoted on the architectural drawings. Fifty-four spaces have been provided to serve the hotel, whilst a single space has been provided.</p> <p>4.55% of total spaces for the hotel are required to be accessible which is three (3).</p> <p>Four (4) accessible parking spaces have been provided to serve the hotel.</p> <p>The gym has been provided with a single car, technically this space is required to be</p>	Additional Details Required

Clause	Description	Comment	Status
	 <p>The diagram illustrates the requirements for accessible carparking spaces. The top section shows a side view of a car with a wheelchair user, with dimensions: 1000 max. for the car width, 500 max. for the wheelchair width, 2200 min. for the car height, 1800 min. for the wheelchair height, and a clearance height of 2500 min. to be maintained from entry to parking space. The length of the designated parking space is indicated. The bottom section shows a top-down view of the parking layout, including dedicated spaces, shared areas, and other user spaces, with dimensions: 2400 for dedicated spaces, 2400 for shared areas, and 7200 min. for the total length. A bollard is shown with a dimension of 500 x 50. The diagram also indicates a barrier or line indicating the front of the car parking space and a parking aisle or roadway.</p>	<p>an accessible carparking space.</p> <p>The architectural drawings shall be updated to provide a single accessible carparking space.</p> <p>Please note that where council impose a condition of consent regarding adaptable spaces in accordance with AS2890.6 or AS4299, a Performance Solution cannot be provided.</p>	
D4D7	<p>Signage</p> <p>Braille and tactile signage complying with Specification 15 and incorporating the international symbol of access or deafness in accordance with AS1428.1 must identify every accessible sanitary facility and space with a hearing augmentation system.</p> <p>Every doorway required to be provided with an exit sign under Clause E4D5 is to be provided with braille and tactile signage that states “EXIT” and identify the floor level “LEVEL #”.</p>  <p>Signage must be provided within a room containing hearing augmentation identifying the type of hearing augmentation, the area covered in the room and if receivers are being used and where the receivers can be obtained.</p> <p>Signage identifying ambulant accessible sanitary facilities in accordance with AS 1428.1 must be located on the door of the facility.</p> 	<p>Signage details must be in accordance with AS1428.1 - 2009 and Specification D3.6 of the BCA.</p>	<p>Compliance Readily Achievable</p>

Clause	Description	Comment	Status
	<div>   </div> <p>Where the pedestrian entrance is not accessible, directional signage in accordance with AS 1428.1 must be provided to direct a person to the location of the nearest accessible pedestrian entrance.</p> <p>Where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, directional signage must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility.</p>		
D4D8	Hearing augmentation	<p>Hearing augmentation is required to be provided within the conference room located on the ground floor of the hotel part of the building.</p> <p>Hearing augmentation shall be provided in accordance with D4D8. Further details are to be provided at CC stage.</p>	Compliance Readily Achievable
D4D9	<p>Tactile indicators (TGSIs)</p> <p>Tactile indicators are to be provided to all stairways, ramps and escalators must be provided to warn people who are blind or have a vision impairment that they are approaching:</p> <ul style="list-style-type: none"> a stairway, other than a fire-isolated stairway, an escalator, passenger conveyor or moving walk, a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp, or in the absence of a suitable barrier an overhead: <ul style="list-style-type: none"> obstruction less than 2 m above floor level, other than a doorway an access way meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in D4D5 (prev. D3.4), if there is no kerb or kerb ramp at that point <p>Tactile ground surface indicators must comply with sections 1 and 2 of AS/NZS 1428.4.1</p>	<p>Tactiles are shown at the top and bottom landings of each non-fire-isolated stairways and 1:14 ramp as well as notations confirming that tactiles will be installed in the locations underneath the stairways where the head height clearance is less than 2000mm.</p> <p>Where the stairways landings are less than 3 metres long, then only 300mm wide tactiles will be required at the landings in accordance with AS 1428.4.</p> <p>Compliance is readily achievable subject to detailed design development at CC stage.</p>	Compliance Readily Achievable

Clause	Description	Comment	Status
	 <p>(a) Plans of individual truncated cones</p> <p>(b) Elevation of individual truncated cone</p>		
D4D10	Wheelchair seating spaces in Class 9b assembly buildings	N/A – Seating is not fixed therefore compliance is not required.	N/A
D4D11	Swimming pools	N/A	N/A
D4D12	Ramps On an access way a series of connected ramps must not have a combined vertical rise of more than 3.6m. A landing for a step ramp must not overlap a landing of another step ramp or ramp.	Ramps do not have a combined vertical rise of more than 3.6 m.	Complies
D4D13	Glazing on an accessway On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.	The building has multiple fully glazed doors which will require decal strips to be installed. A door schedule has been provided which shows decal strips across the fully glazed doors, therefore compliance is readily achievable subject to the decal strips achieving minimum 30% luminance contrast when measured against the floor surface on the adjacent side of the decal strips (for a distance of 2 metres).	Compliance Readily Achievable
Part E4 - Lift Installations			
E3D3	Accessible features required for passenger lifts Every passenger lift must be one of the types identified in E3D7 and have accessible features in accordance with Clause E3D8(a)-(k) and not rely on a constant pressure device for its operation if the lift car is fully enclosed. The minimum lift floor plate dimensions have been provided below: <ul style="list-style-type: none"> Lifts which travel more than 12m must have a lift floor plate not less than 1400mm wide by 1600mm deep; Lifts which travel not more than 12m must have a lift floor plate not less than 1100mm wide by 1400mm deep. 	The passenger lifts have internal floor dimensions of at least 1400mm wide by 1600mm long. The lifts will be able to support stretcher facilities. All lifts must have accessible facilities in accordance with Table E3.6b of Clause E3.6.	Compliance Readily Achievable
Part F4 - Sanitary and Other Facilities			
F4D5	Accessible sanitary facilities In a building required to be accessible— (a) accessible unisex sanitary compartments must be provided in accessible parts of the building in	Accessible unisex sanitary compartments must be provided in accessible parts of the building in accordance with F4D6. At each bank of toilets where there is one or more toilets in addition to an accessible	Additional Details Required

Clause	Description	Comment	Status
	<p>accordance with F4D6; and</p> <p>(b) accessible unisex showers must be provided in accordance with F4D7); and</p> <p>(c) at each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females; and</p> <p>(d) an accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate means of disposal of sanitary products; and</p> <p>(e) the circulation spaces, fixtures and fittings of all accessible sanitary facilities provided in accordance with F4D7 must comply with the requirements of AS 1428.1; and</p> <p>(f) an accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and</p> <p>(g) where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right-handed mirror image facilities must be provided as evenly as possible; and</p> <p>(h) where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those locations; and</p> <p>(i) compartment or an accessible unisex shower need not be provided on a storey or level that is not required by D4D4(f) to be provided with a passenger lift or ramp complying with AS 1428.1.</p>	<p>unisex sanitary compartment at that bank of toilets, not less than one sanitary compartment suitable for a person with an ambulant disability for use by males and not less than one sanitary compartment suitable for a person with an ambulant disability for use by females, each in accordance with AS 1428.1-2009.</p> <p>The accessible sanitary compartment on Level 1 does not satisfy the spatial requirements for AS1428.1-2009. Please update the architectural drawings to demonstrate compliance.</p> <p>Sanitary facility dimension shall be a minimum of 2300mm x 1900mm as per AS1428.1-20090</p>  <p>Ambulant facilities have been provided for use by male and females at each bank complying with the requirements of AS1428.1-2009</p>	
F4D6	<p>Accessible sanitary facilities</p> <p>In a building required to be accessible—</p> <p>(a) accessible unisex sanitary compartments must be provided in accessible parts of the building in accordance with F4D6; and</p> <p>(b) accessible unisex showers must be provided in accordance with F4D7); and</p> <p>(c) at each bank of toilets where there is one or more toilets in addition to an accessible unisex sanitary compartment at that bank of toilets, a sanitary compartment suitable for a person with an ambulant disability in accordance with AS 1428.1 must be provided for use by males and females; and</p> <p>(d) an accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf or bench top and adequate means of disposal of sanitary products; and</p> <p>(e) the circulation spaces, fixtures and fittings of all accessible sanitary facilities provided in accordance with F4D7 must comply with the requirements of AS 1428.1; and</p>	<p>Unisex accessible sanitary facilities are provided throughout the development, however, the facilities are capable of demonstrating compliance with the requirements are per AS1428.1-2009.</p> <p>Further design development will be required at CC stage.</p>	Compliance Readily Achievable

Clause	Description	Comment	Status
	<p>(f) an accessible unisex sanitary facility must be located so that it can be entered without crossing an area reserved for one sex only; and</p> <p>(g) where two or more of each type of accessible unisex sanitary facility are provided, the number of left and right-handed mirror image facilities must be provided as evenly as possible; and</p> <p>(h) where male sanitary facilities are provided at a separate location to female sanitary facilities, accessible unisex sanitary facilities are only required at one of those locations; and</p> <ul style="list-style-type: none"> (i) compartment or an accessible unisex shower need not be provided on a storey or level that is not required by D4D4(f) to be provided with a passenger lift or ramp complying with AS 1428.1. 		
F4D7	<p>Accessible unisex showers</p> <p>Where required by F4D5(b), the minimum number of accessible unisex showers for each class of building is as follows:</p> <ul style="list-style-type: none"> Class 2 buildings - where showers are provided in common use areas. Class 3 and Class 9c buildings - In every accessible sole-occupancy unit provided with showers, and 1 for every 10 showers or part thereof provided in common areas. Class 5,6,7,8 or 9 buildings - Where F4D4 requires 1 or more showers, not less than 1 for every 10 showers or part thereof. 	<p>The public assembly gym on level 2 has been provided with an accessible unisex shower facility.</p> <p>The compartment is provided with compliant spatial dimensions to satisfy the requirement of AS1428.1-2009/.</p> <p>Compliance is subject to detailed design development at CC stage.</p>	Compliance Readily Achievable
F4D12	Accessible adult change facilities	N/A	N/A
Part G7 - Livable housing design - Exempt in NSW (However please refer to (Housing) 2021 Table) -			

11.3. AS 1428.1-2009 Assessment Table

Clause	Description	Comment	Status
AS 1428.1-2009			
Dimensions	Noted	Noted	Noted
Continuous Accessible Paths of Travel	A continuous accessible path of travel shall not include a step, stairway, turnstile, revolving door, escalator, moving walkway or other impediment.	<p>The building is provided with a continuous accessible path of travel which is no less than 1m wide (excluding doorways).</p> <p><u>Turning spaces</u></p> <p>Turning spaces with a clear space of 1540mm x 2070mm have not been provided within 2 metres of the corridor ends to allow wheelchair occupants to make a 180-degree turn. There are various areas of the building where turning space has not been provided.</p> <p><u>Passing Space</u></p> <p>Public corridors in the hotel would not be</p>	Additional Details Required

Clause	Description	Comment	Status
		<p>considered a clear line of sight.</p> <p>Where a clear line of sight is not provided within 20m a passing space shall be provided.</p> <p>Accessways must have a passing space complying with AS 1428.1 at maximum 20 m intervals on those parts of an accessway where a direct line of sight is not available. The passing space shall be a minimum width of 1800mm for a length of 2000mm.</p> <p>Please update the architectural drawings to demonstrate compliance.</p> <p>There are fully glazed doorways with sidelights provided. Decal strips are to be shown across the glazed doorways as per AS 1428.1-2009 at CC stage.</p>	
Floor or ground surfaces on continuous accessible paths of travel and circulation spaces	A continuous accessible path of travel and any circulation spaces shall have a slip-resistant surface. The texture of the surface shall be traversable by people who use a wheelchair and those with an ambulant or sensory disability.	There have been no details provided for the proposed floor coverings, however compliance is readily achievable, subject to a specification being provided to the certifier at CC stage.	Compliance Readily Achievable
Signage	The BCA contains requirements for Braille and tactile signage in Specification D3.6. Where signs are required, the form of signs shall be in accordance with this clause.	There have been no details provided for the proposed signage, however compliance is readily achievable, subject to a specification being provided to the certifier at CC stage.	Compliance Readily Achievable
Tactile Ground Surface Indicators (TGSIs)	Tactile ground surface indicators to warn people of hazards shall comply with AS/NZS 1428.4.1.	Tactiles have been shown at the top and bottom landings of each non-fire-isolated stairways as well as notations confirming that tactiles will be installed in the locations underneath the stairways where the head height clearance is less than 2000mm.	Compliance Readily Achievable
Walkways, Ramps and Landings	Walkways, ramps and landings that are provided on a continuous accessible path of travel shall be in accordance Clause 10 of AS1428.1-2009.	The building has multiple walkways & ramps located along the required accessways. Compliance is readily achievable subject to detailed design development at CC stage.	Compliance Readily Achievable
Stairways	Stairways shall be constructed in accordance with Clause 11 of AS1428.1-2009.	<p><u>Non-fire-isolated stairs:</u></p> <p>The building has multiple non-fire-isolated stairways which serve accessible areas.</p> <p>Generally, all stairs have been provided with handrails and tactiles however, further design development is required.</p> <p><u>Fire-isolated stairways:</u></p> <p>The building is served by multiple fire-isolated stairways. Details shall be provided at CC stage which detail handrails</p>	Compliance Readily Achievable

Clause	Description	Comment	Status
		throughout the fire isolated stairs. Off-set risers are required to be provided to ensure a consistent handrail height can be provided throughout the stair.	
Handrails	The design and construction of handrails shall be constructed in accordance with Clause 12 of AS1428.1-2009.	Specific details have not been provided however, compliance is readily achievable. Architectural drawings are required to be provided at CC stage showing handrails at a height of 1000mm with minimum 30-50mm thick handrails having a 50mm clearance to the adjacent wall.	Compliance Readily Achievable
Doorways, Doors and Circulation Space at Doorways	Doorways, doors and circulation space at doorways must luminance contrast, openings and circulation space in accordance with Clause 13 of AS1428.1-2009.	<p><u>Luminance contrast:</u> There have been no details provided for the proposed luminance contrast around the doorways; however compliance is readily achievable, subject to a specification being provided to the certifier at CC stage.</p> <p><u>Door widths (common areas):</u> Generally, throughout the building, doors have been provided with a clear opening of 850mm opening. However, 850mm clear opening has not been provided at the general manager's office in accordance with AS1428.1-2009. Please update architectural drawings to demonstrate compliance.</p> <p><u>Door controls:</u> There have been no details provided for the proposed door controls; however compliance is readily achievable, subject to a specification being provided to the certifier at CC stage.</p>	Additional Details Required
		<p><u>Circulation space at doorways</u> Compliant circulation space has not been provided at various doorways throughout the development. However, Circulation space has not been provided at the general manager's office in accordance with AS1428.1-2009. Please update architectural drawings to demonstrate compliance. A minimum 850mm clear opening and latch and hinge side clearances.</p>	Additional Details Required
Switches and General Purpose Outlets (Power Points)	All switches and controls on an accessible path of travel, other than general purposes outlets, shall be located not less than 900mm nor more than 1100mm above the plane of the finished floor and not less 500mm from the internal corners as per Clause 14 of AS1428.1-2009.	There have been no details provided for the proposed switches and GPO's; however compliance is readily achievable, subject to a specification being provided to the certifier at CC stage.	Compliance Readily Achievable
Sanitary Facilities	Sanitary facilities must be provided with accessible features in accordance with Clause 15 of AS 1428.1-2009.	Unisex accessible sanitary facilities are provided throughout the development, however, the facilities are capable of	Compliance Readily Achievable

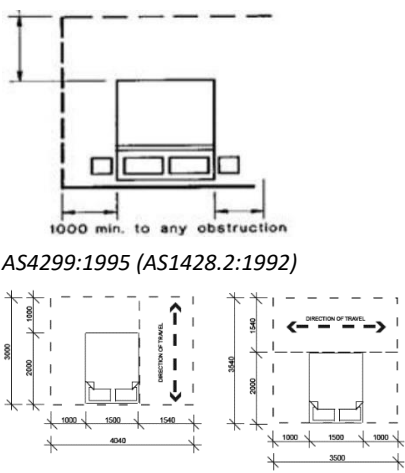
Clause	Description	Comment	Status
		demonstrating compliance with the requirements are per AS1428.1-2009. Further design development will be required at CC stage.	
Sanitary Compartment for People with Ambulant Disabilities	Sanitary compartments for people with ambulant disabilities shall be in accordance with Figures 53(A) and 53(B).	Compliance is readily achievable subject to detailed design development at CC stage.	Compliance Readily Achievable
Grabrails	Grabrails shall be provided in accordance with Clause 17 of AS 1428.1-2009.	The typical details provided can readily achieve compliance with this clause for the grabrails in both the ambulant and accessible sanitary compartments.	Compliance Readily Achievable
Assembly Buildings	N/A	N/A	N/A

11.4. Adaptable Housing (Class C) Assessment Table

Clause	Description	Comment	Status
AS 4299-1995			
Drawings			
2.3	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages	Pre and post adaptation plans to be provided at construction stage.	Complies
Sitting			
3.3.2	A continuous accessible path of travel from Street frontage and vehicle parking to entry complying with AS1428.1	<p>No Street parking will be provided.</p> <p>An accessway (walkways and ramps) has been provided from the front boundary line to the building principal pedestrian entrance.</p> <p>All SOUs will have access to a shared lift from the basement carpark.</p>	Complies
Letterboxes in Estate Developments			
3.8	Letterboxes to be on hard standing area connected to accessible pathway.	Letterboxes for the residential units are provided via the main lobby	Compliance Readily Achievable
Private Car Accommodation			
3.7.2	Carparking space or garage min area 6.0x3.8m	<p>The development does not include any garages, however adaptable/accessible car spaces are available in the basement car park.</p> <p>At this stage, various parking spaces are detailed as labelled adaptable spaces but appear to be designed in accordance with AS1428.1-2009.</p> <p>These spaces shall be nominated as accessible carparking spaces.</p> <p>Where spaces are to be designed as adaptable carparking spaces in accordance with AS4299 they shall clearly demonstrate compliance with the following;</p> <ul style="list-style-type: none"> The parking space width shall be not less than 3.8m x 6m AS2890.1 (1993) does not permit the vehicular aisle to be used as the shared zone. <p>During the CC stage of the development, it must be ensured that there is a clear height of 2.5m over the carparking space and 2.2m leading to it space and 2.2m leading to it.</p> <p>Note – Where council imposes a condition regarding Adaptable Parking spaces in accordance with AS2890.6 a Performance Solution can not be provided to vary a condition of consent.</p>	Compliance Readily Achievable

Clause	Description	Comment	Status
Accessible Entry			
4.3.1	Accessible entry	To comply with door circulation spaces under AS1428.1, the entry door to the adaptable unit must have a minimum clear opening of 850mm. Circulation spaces at the front entry doorways have been provided post adaptation and achieve compliance as per AS 1428.1-2009.	Complies
4.3.1	Accessible entry door to have 850mm minimum clearance	To comply with door circulation spaces under AS1428.1, the entry door to the adaptable unit must have a minimum clear opening of 850mm. Circulation spaces at the front entry doorways have been provided post adaptation and achieve compliance as per AS 1428.1-2009.	Complies
4.3.2	Accessible entry to be level (i.e. max. 1:40 slope)	The units are accessed from an external level common walkway.	Complies
4.3.2	Threshold to be low-level	The public corridors are assumed to be level.	Complies
4.3.2	Landing to enable wheelchair manoeuvrability	The entry door providing access to the SOU's are internal to the building.	Complies
4.3.4	Door lever handles and hardware to AS1428.1	Door handles must comply with AS1428.1-2009 at construction stage.	Compliance Readily Achievable
Interior: General			
4.3.3	Internal doors to have 820mm min. clearance	The architectural drawings detail all internal doors within a minimum 820mm clear opening.	Complies
4.3.7	Internal corridors width of 1000mm min.	The internal corridors within the unit must have a minimum width of 1000mm, and the circulation space at doorways should be compliant with AS1428.1. The post-adaptation drawings demonstrate compliance.	Complies
4.3.7	Provision for compliance with AS1428.1 for door approaches	Circulation spaces at doorways within the unit are to comply with AS1428.1-2009. The post-adaptation drawings demonstrate compliance with the requirements of this clause.	Complies
Living and Dining Room			
4.7.1	Provision for circulation space of 2250mm min. diameter	A minimum circulation space of 2250mm diameter must be provided in the living areas of the unit once the furniture has been placed. The post-adaptation drawings demonstrate compliance with the requirements of this clause.	Complies
4.7.4	Telephone adjacent to GPO	The post adaption plan shall include a	Compliance

Clause	Description	Comment	Status
		Telephone outlet adjacent to GPO in living/dining area.	Readily Achievable
4.1.0	Potential illumination level min. 300Lux	Lighting to comply at construction stage.	Compliance Readily Achievable
Kitchen			
4.5.2	Minimum width 2.7m (1550mm clear between benches)	1550mm min. clearance is provided in front of the kitchen sink and appliances.	Complies
4.5.1	Provision for circulation at doors to comply with AS1428.1	There are no kitchen doors proposed.	Complies
4.5.5	Provision for benches planned to include at least one work surface of 800mm length, adjustable in height from 750 mm to 850mm or replaceable. Refer to Figure 4.8.	Details to be provided in the post adaption plans, compliance is readily achievable.	Compliance Readily Achievable
4.5.5	Refrigerator adjacent to work surface	Details to be provided in the post adaption plans, compliance is readily achievable.	Compliance Readily Achievable
4.5.6	Kitchen sink adjustable to heights from 750mm to 850mm or replaceable	Details to be provided in the post adaption plans, compliance is readily achievable.	Compliance Readily Achievable
4.5.6	Kitchen sink bowl max. 150mm deep	Details to be provided in the post adaption plans, compliance is readily achievable.	Compliance Readily Achievable
4.5.6(e)	Tap set capstan or lever handles or lever mixer	Details to be provided in the post adaption plans, compliance is readily achievable.	Compliance Readily Achievable
4.5.6(e)	Tap set located within 300mm of front of sink	Details to be provided in the post adaption plans, compliance is readily achievable.	Compliance Readily Achievable
4.5.7	Cook tops to include either front or side controls with raised cross bars	Details to be provided in the post adaption plans, compliance is readily achievable.	Compliance Readily Achievable
4.5.7	Cook tops to include isolating switch	All cook tops must be provisioned with isolating switches or gas stop valves that can be safely and easily operated while the cook top is in use. Details regarding these provisions will be provided in the post-adaption plans, and compliance with this requirement is readily achievable.	Compliance Readily Achievable
4.5.7	Work surface min. 800mm length adjacent to cook top at same height	The post adaption plans shall indicate a work surface adjacent to, and at the same height as the, cook top of 800mm.	Compliance Readily Achievable
4.5.8	Oven located adjacent to an adjustable height or replaceable work surface	The post adaptation plans shall indicate the oven adjacent to an 800mm wide work surface.	Compliance Readily Achievable
4.5.11	GPOs to comply with AS 1428.1. At least one double GPO within 300mm of front of work surface	All GPOs must comply with AS1428.1. Additionally, there should be at least one double GPO located within 300mm of the front of the work surface.	Compliance Readily Achievable
4.5.11	GPO for refrigerator to be easily reachable	GPO for refrigerator to be easily	Compliance

Clause	Description	Comment	Status
	when the refrigerator is in its operating position	reachable when the refrigerator is in its operating position.	Readily Achievable
4.5.4	Slip-resistant floor surface	Floors to be slip resistant to comply with AS3661.1. Certificate to be provided at CC stage. Note: AS4586:2013/HB 198:2014 is satisfactory.	Compliance Readily Achievable
Bedroom			
4.6.1	At least one bedroom of area sufficient to accommodate queen size bed, wardrobe and circulation space requirements of AS1428.2	<p>The adaptable bedrooms in units are large enough to accommodate a queen size bed (1520mm W x 2030mm L) with turning spaces at the base overlapping with circulation space at doorway, and clearances (minimum 1 metre wide) around the side of the bed.</p> <p>Note: Turning bays at bed base according to AS4299:1995 or on the side of the bed closest to the door approach (in the direction of travel) according to LHDG 2015 (Design Element 11) are considered suitable - see figures below.</p>  <p>AS4299:1995 (AS1428.2:1992)</p> <p>LHDG 2015</p>	Complies
Bathroom			
4.4.1	Provision for bathroom area to comply with AS1428.1	<p>The bathroom and shower area must comply with Clause 15 of AS1428.1-2009, Currently, the bathroom's internal dimensions are 2930mm x 2000 mm, which satisfies the requirements of the clause.</p> <p>Please note that extra capped-off plumbing services should be provided in case fixture relocation is required during the post-adaptation stage. It is recommended to arrange fixtures in their post-adaptation location wherever possible.</p>	Complies
4.4.2	Slip-resistant floor surface	The bathroom flooring shall be slip	Compliance

Clause	Description	Comment	Status
		resistant in accordance with AS3661.1. Certificate to be provided at CC stage. Note: AS4586:2013/HB 198:2014 is deemed too also be satisfactory.	Readily Achievable
4.4.4(f)	Shower recess-no hob. Minimum size 1160x1100mm to comply with AS1428.1 (Refer Figures 4.6 and 4.7)	Shower to be hob-less. The post adaption plans to show AS1428.1 compliant sizes and fit-out.	Compliance Readily Achievable
4.4.4(f)	Shower area waterproofed to AS3740 with floor to fall to waste	Entire bathroom to comply with AS3740.	Compliance Readily Achievable
4.4.4(f)	Recessed soap holder	Soap holder to be recessed.	Compliance Readily Achievable
4.4.4(f)	Shower taps positioned for easy reach to access side of shower sliding track	Shower head and taps to be located at a height and clearance compliant to AS1428.1.	Compliance Readily Achievable
4.4.4(h)	Provision for adjustable, detachable hand held shower rose mounted on a slider grabrail or fixed hook (plumbing and wall - strengthening provision)	Provisioning to be provided.	Compliance Readily Achievable
4.4.4(h)	Provision for grabrail in shower (Refer to Figure 4.7) to comply with AS1428.1	Provisioning to be provided.	Compliance Readily Achievable
4.4.4(c)	Tap sets to be capstan or lever handles with single outlet	The taps can be updated at the post adaption stage.	Compliance Readily Achievable
4.4.4(g)	Provision for washbasin with clearances to comply with AS1428.1	The taps can be updated at the post adaption stage.	Compliance Readily Achievable
4.4.4(d)	Double GPO beside mirror	Double GPO to be provided beside mirror.	Compliance Readily Achievable
Toilet			
4.4.3	Provision of either "visitable toilet" or accessible toilet	As part of the pre-adaptation stage, a "visitable" toilet has been provided at the entry level.	Compliance Readily Achievable
4.4.1	Provision to comply with AS1428.1	The bathroom area in the adaptable unit should comply with Clause 15 of AS1428.1-2009, specifically regarding the dimensions of fixtures, their location, and the circulation spaces around them. This compliance should be clearly shown in the post-adaptation plans.	Compliance Readily Achievable
4.4.3	Location of WC pan at correct distance from fixed walls	Pan to be located correct distances from the walls in accordance with AS1428.1-2009. To be shown in the post-adaptation plans.	Compliance Readily Achievable
4.4.4(h)	Provision for grab rail zone (Refer Figure 4.6)	Provision to be provided. To be shown in the post-adaptation plans.	Compliance Readily Achievable

Clause	Description	Comment	Status
4.4.2	Slip resistant floor surface (vitreous tiles or similar)	Floors to be slip resistant to comply with AS3661.1. Certificate to be provided at CC stage. Note: AS4586:2013/HB 198:2014 is satisfactory.	Compliance Readily Achievable
Laundry			
4.8	Circulation at doors to comply with AS 1428.1	The circulation spaces at doorways providing access to the laundry comply with AS1428.1-2009.	Complies
4.8	Provision for adequate circulation space in front of or beside appliances (min. 1550x1550mm)	The post adaptation plans show adequate provisioning for circulation space in front of the appliances (1550mmx1550mm).	Complies
4.8(e)	Provision for automatic washing machine	The laundry has a space for a washing machine shown on the plans.	Compliance Readily Achievable
4.8(a)	Where clothes line is provided, an accessible path of travel to this	The adaptable units do not have a clothesline provided.	Compliance Readily Achievable
4.8(g)	A double GPO shall be provided in the laundry area.	Provisions can be made for a double GPO to be provided in the laundry.	Compliance Readily Achievable
4.9.1	Slip-resistant floor surface	The flooring in the laundry can readily achieve compliance with the slip resistance ratings of AS/NZS 3661.1	Compliance Readily Achievable
Door Locks			
4.3.4	Door hardware operable with one hand, located 900-1100mm above floor	The doorways throughout the accessible parts of the SOU shall have hardware which can be operated with a single hand and located 900-1100mm above the floor level.	Compliance Readily Achievable

11.5. SEPP (Housing) 2021 Livable Housing Design Guidelines (Silver Level) Assessment Table

Clause	Description	Comment	Status
1. Dwelling (SOU) Access	<p>Silver Level</p> <p>(a) Provide a safe, continuous step-free pathway from the front boundary of the property to an entry door to the dwelling.</p> <p>(b) This provision does not apply where the average slope of the ground where the path would feature is steeper than 1:14.</p> <p>(c) The path of travel referred to in (a) should have a minimum clear width of 1000mm and have;</p> <ul style="list-style-type: none"> (i) No steps; (ii) An even, firm, slip resistant surface; (iii) A crossfall of not more than 1:40; (iv) A maximum pathway slope of 1:14 <p>Where ramps are required they should have landings provided at no greater than 9m for a 1:14 ramp and no greater than 15m for ramps steeper than 1:20. Landings should be no less than 1200mm in length.</p> <p>(d) The path of travel referred to in (a) may be provided via an associated car parking space for the dwelling. Where a car parking space is relied upon as the safe and continuous pathway to the dwelling entrance, the space should incorporate:</p> <ul style="list-style-type: none"> (i) Minimum dimensions of at least 3200 mm (width) x 5400mm (length); (ii) An even, firm and slip resistant surface; and (iii) A level surface (1:40 maximum gradient, 1:33 maximum gradient for bitumen). <p>(e) A step ramp may be incorporated at an entrance doorway where there is a change in height of 190mm or less. The step ramp should provide:</p> <ul style="list-style-type: none"> (i) A maximum gradient of 1:10 (ii) A minimum clear width of 1000mm (please note: width should reflect the pathway width) (iii) A maximum length of 1900 mm <p>(f) Where a ramp is part of the pathway, level landings no less than 1200mm in length, exclusive of the swing of the door or gate than opens onto them, must be provided at the head and foot of the ramp.</p> <p>Note: The width of the landing will be determined by the adjoining pathway. If the landing directly adjoins the doorway please refer to Element 2 for dimensional requirements.</p>	<p>The path of travel to the SOU doorway is also an accessible pathway and therefore compliance will inevitable also be achieved with the requirements of this Clause.</p> <p>Refer discussion under D4D4 for items to be resolved with respect to the accessible path of travel, which do not preclude compliance from being achieved with this Clause.</p>	Compliance Readily Achievable
2. Dwelling (SOU) Entrance	<p>Silver Level</p> <p>(a) The dwelling should provide an entrance door with -</p> <ul style="list-style-type: none"> (i) A minimum clear opening width of 820mm (see Figure 2(a)); (ii) A level (step-free) transition and threshold (maximum vertical tolerance of 5mm between abutting surfaces is allowable provided the lip is rounded or bevelled); and (iii) Reasonable shelter from the weather. 	<p>All dwellings are shown to have a level step-free landing door threshold with a clear opening width of not less than 820mm. The doorways are within the internal lobbies and therefore not exposed to the weather.</p>	Compliance Readily Achievable

Clause	Description	Comment	Status
	<p>(b) A level landing area of at least 1200mm x 1200mm should be provided at the level (step free) entrance door. A level landing area at the entrance door should be provided on the arrival side of the door (i.e. the external side of the door) to allow a person to safely stand and then open the door.</p> <p>(c) Where the threshold at the entrance exceeds 5mm and is less than 56mm, a ramped threshold may be provided (see Figure 1(b)).</p> <p>(d) The level (step-free) entrance should be connected to the safe and continuous pathway as specified in Element</p> <p>Note: The entrance must incorporate waterproofing and termite management requirements as specified in the NCC.</p>		
3. Internal Doors and Corridors	<p>Silver Level</p> <p>(a) Doorways to rooms on the entry level used for living, dining, bedroom, bathroom, kitchen, laundry and sanitary compartment purposes should provide:</p> <p>(i) A minimum clear opening width of 820mm (see Figure 2(a)); and</p> <p>(ii) A level transition and threshold (maximum vertical tolerance of 5mm between abutting surfacers if allowable provided the lip is rounded or bevelled).</p> <p>(b) Internal corridors/passageways to the doorways referred to in (a) should provide a minimum clear width of 1000mm</p> <p>* Corridor widths should be measured as described in Clause 6.3 of AS 1428.1 - 2009</p>	All SOU's nominated as Livable dwellings have a clear opening of 820mm and all corridors have a minimum clear width of 1000mm.	Complies
4. Toilet	<p>Silver Level</p> <p>(a) Dwellings should have a toilet on the ground (or entry) level that provides:</p> <p>(i) A minimum clear width of 900mm between the walls of the bathroom if located in a separate room; and</p> <p>(ii) A minimum 1200mm clear circulation space forward of the toilet pan exclusive of the swing of the door in accordance with Figure 3(a).</p> <p>(iii) The toilet pan should be located in the corner of the room (if the toilet is located in a combined toilet / bathroom) to enable installation of grabrails at a future date. Reinforcement guidelines for walls in bathrooms and toilets are found in element 6.</p>	All SOU's nominated as Livable dwellings have been provided will compliant toilet facilities in accordance with this Clause.	Complies
5. Shower	<p>Silver Level</p> <p>(a) One bathroom should feature a slip resistant, hobless shower recess. Shower screens are permitted provided they can be easily removed at a later date.</p> <p>(b) The shower recess should be located in the corner of the room to enable the installation of grabrails at a future date.</p> <p>For hobless specification please see Australian Standard AS3740-3.6.</p> <p>Reinforcement guidelines for walls in bathrooms and toilets are found in element 6.</p>	<p>Showers have been provided in the corners of the bathrooms.</p> <p>Compliance is readily achievable subject to detailed design development.</p>	Compliance Readily Achievable

Clause	Description	Comment	Status
6. Reinforcement of bathroom & toilet walls	<p>Silver Level</p> <p>(a) Except for walls constructed of solid masonry or concrete, the walls around the shower, bath (if provided) and toilet should be reinforced to provide a fixing surface for the safe installation of grabrails.</p> <p>(b) The walls around the toilet are to be reinforced by installing:</p> <ul style="list-style-type: none"> (i) Noggings with a thickness of at least 25mm in accordance with Figure 6(a); or (ii) Sheeting with a thickness of at least 12mm in accordance with Figure 6(b). <p>(c) The walls around the bath are to be reinforced by installing:</p> <ul style="list-style-type: none"> (i) Noggings with a thickness of at least 25mm in accordance with Figure 7(a); or (ii) Sheeting with a thickness of at least 12mm in accordance with Figure 7(b). <p>(d) The walls around the hobless shower recess are to be reinforced by installing:</p> <ul style="list-style-type: none"> (i) Noggings with a thickness of at least 25mm in accordance with Figure 8(a); or (ii) Sheeting with a thickness of at least 12mm in accordance with Figure 8(b). 	Compliance readily achievable subject to detailed design development at CC stage.	Compliance Readily Achievable
7. Internal Stairways	N/A	N/A	N/A



12. Appendix A - Referenced Documentation

The following documentation was used in the preparation of this report:

Drawing No.	Title	Issue	Date	Drawn By
DA-200	GA Plan- Basement L6	G	11/4/2024	Olsson Architecture
DA-201	GA Plan- Basement L5	G	11/4/2024	Olsson Architecture
DA-202	GA Plan- Basement L4	G	11/4/2024	Olsson Architecture
DA-203	GA Plan- Basement L3	G	11/4/2024	Olsson Architecture
DA-204	GA Plan- Basement L2	G	11/4/2024	Olsson Architecture
DA-205	GA Plan- Basement L1	G	11/4/2024	Olsson Architecture
DA-210	GA Plan- Level 0 GF	G	11/4/2024	Olsson Architecture
DA-211	GA Plan- Level 1	G	11/4/2024	Olsson Architecture
DA-212	GA Plan- Levels 2-5	F	11/4/2024	Olsson Architecture
DA-213	GA Plan- Level 6	G	11/4/2024	Olsson Architecture
DA-214	GA Plan- Level 7	F	11/4/2024	Olsson Architecture
DA-215	GA Plan- Level 8	F	11/4/2024	Olsson Architecture
DA-220	GA Plan- Typical Levels 9-18	G	11/4/2024	Olsson Architecture
DA-221	GA Plan- Typical Levels 19-25	G	11/4/2024	Olsson Architecture
DA-222	GA Plan- Typical Levels 26-29	G	11/4/2024	Olsson Architecture
DA-223	GA Plan- Level 30	G	11/4/2024	Olsson Architecture
DA-224	GA Plan- Level Roof	F	11/4/2024	Olsson Architecture
DA-250	Plan - SDA HPS Apartments	D	11/4/2024	Olsson Architecture
DA-251	Plan - Adaptable Apartments Level 14Unit 14-021 Bed Level 15Unit 15-021 Bed 19/6/2024 Unit 18	B	11/4/2024	Olsson Architecture
DA-252	Plan - Livable Apartments Type	B	11/4/2024	Olsson Architecture
DA-253	Plan - Livable Apartments Type 2	B	11/4/2024	Olsson Architecture
DA-310	Elevations-North, West	A	11/4/2024	Olsson Architecture



DA-311	Elevations-South, East	E	11/4/2024	Olsson Architecture
DA-400	Sections-AA, BB	E	11/4/2024	Olsson Architecture



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